

Wheeler Crest Design Review Committee

P.O. Box 347
Mammoth Lakes, CA 93546
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P.O. Box 8
Bridgeport, CA 93517
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www.monocounty.ca.gov

REGULAR MEETING AGENDA

July 24, 2025 – 3:00 PM

DANA ROOM (2ND FLOOR) – MONO COUNTY CIVIC CENTER

1290 Tavern Road, Mammoth Lakes, CA 93546

Alternate Location: 1724 Navajo Court, Olympic Valley, CA 96146

This meeting will be held in-person at the locations listed above. Members of the public may participate in-person and via Zoom, including listening to the meeting and providing comments using the link below:

<https://monocounty.zoom.us/j/83395765804?pwd=QN4mAl00QfkaalaUHMdWYKlSc8XZq.1>

Members of the public may also participate by telephone at 669-900-6833 using Meeting ID # 833 9576 5804 (Passcode: 5678). An alternative way to participate via Zoom is to visit <https://zoom.us/join> and use the Meeting ID # 833 9576 5804 (Passcode: 5678).

1. Call To Order
2. Public Comment for items not listed on the agenda.
(Speakers may be limited to three minutes each)
3. Review and adopt minutes from the March 27, 2025, meeting.
4. **PUBLIC HEARING:** Review current building plans for compliance with the Architectural Guidelines in Appendix B of the Wheeler Crest Area Plan adopted as the Design Review Standards for the District by Ordinance 91-07. Copies of plans are available in the Community Development Department office (1290 Tavern Road, Suite 138, Mammoth Lakes, CA 93546) or at the meeting.
 - a. **(CONTINUED FROM JUNE 26, 2025) PELTZER.** Construction of a single-family residence and garage on an undeveloped property located at 94 Mountain View Drive in Swall Meadows (APN # 064-160-003-000). The Land Use Designation is Estate Residential (ER).
5. Workshops
6. Staff Administration
7. Committee Administration
 - a. Ad hoc Committee updates.
8. Future Agenda Items
9. Adjourn

Staff Planner: Olya Egorov (760-924-1802, oeigorov@mono.ca.gov)

In compliance with the American with Disabilities Act, anyone who needs special assistance to attend this meeting can contact the Mono County staff coordinator at (760) 924-1810 within 48 hours prior to the meeting in order to ensure accessibility (See 42 USCS 12132, 28 CFR 35.130).

WCDRC MEMBERS

Alisa Adriana, Reuben Rosen, Greta Mattauer, Rico Miledi, Bob Weiland, Richard Kelty

Wheeler Crest Design Review Committee Meeting Minutes

Location: Dana Room – Mono County Civic Center 1290 Tavern Rd,
Mammoth Lakes CA

3/27/2025 3:00 pm

Committee Members Present: Alisa Adriani, Richard Kelty, Greta Mettauer, Rico Miledi, Reuben Rosen, Bob Weiland

Committee Members Absent: None

Staff: Emily Fox, Deputy County Counsel; Brent Calloway, Community Planner; Olya Egorov, Planning Analyst, Jeff Hughes (zoom), Erin Bauer (zoom), cddcomments (zoom)

Public Members: Mark Suarez (Applicant), Meredith Frolio, Marianne Rudin

1. **Call to Order** – Dana Room – Mono Lake Civic Center
By whom: Alisa Adriani 3:08 pm
2. **Public Comments** – opened at 3:08 pm; closed at 3:10 pm
Adriani – question about what distance from a property constitutes a conflict of interest for the committee? Per Fox, committee owners within 500 feet of a property should recuse themselves, within 1000 feet should note for the record and do not have to recuse. For the sake of this committee, the locations are based on structure to structure vs. property lines.

3. **Review and Adopt the 1/23/2025 Meeting Minute** 3:10 pm
Motion: Approve the meeting minutes from January 23, 2025 meeting.
(Kelty, 2nd Rosen)

Ayes – 6 Nays – 0 Motion Carries

4. **Officer Appointments** 3:19 pm
Egorov – Since we have recently added and dropped a committee member, we reviewed the roles of the Committee Officers and County Staff (based on county ordinance 91-07) and the order of operations for the meeting.
Kelty has just signed up for a three-year term, Weiland just re-upped his three-year term and Frolio has left the committee.

Secretary – Mettauer – All Approved (temporarily relocating and will need to join meetings via zoom until further notice).

Vice Chair – Rosen – All Approved

Chair – Adriani – All Approved

5. **PUBLIC HEARING:** Review current building plans for compliance with the Architectural Guidelines in Appendix B of the Wheeler Crest Area Plan adopted as the Design Review Standards for the District by Ordinance 91-07. Copies of plans are available in the Community Development Department office (1290 Tavern Road, Suite 138, Mammoth Lakes, CA 93546) or at the meeting.

A. SUAREZ. A cargo container at 172 Mountain View in Swall Meadows (APN 064-160-002-000)

Public Hearing opened at 3:25 pm; closed at 3:54 pm

Mettauer disclosed that her property is within 1000 feet of the applicants.

Suarez (Applicant) – Will use a licensed contractor to do the pad and gravel and conform with run-off requirements. Contacted the county, told he needs a building permit, tried to contact neighbors, spoke with four that supported the project; however, letters of support were not submitted. It is the same model as the one at the WCFPD station except it will be newer and will not have the alpha-numeric markings. Initially the applicant wanted to put the container in the north-west corner of his property, but not able to do so because it would fall in the 30-foot setback so he chose the location outlined in his plan. Stated it was the flattest section of the property.

Calloway – Container at the fire station did require a permit, but since it is not a residential structure, it did not need to come before the Design Review Committee.

Kelty – Based on the topo map provided, corner to corner, there appears to be a 6-foot drop in elevation on the proposed pad, how will runoff be controlled? Per applicant they will cut into the hill as they go up the driveway, contractor would have had more information, but he was unable to attend.

Public Comments 3:49

Frolio – According to Mono County General Plan chapter 20.05.0, this application does not meet the requirement of placing containers in a manner that would minimize visibility. Stated that it was on the highest elevation of the property. Would prefer that he put the container on the bottom side of the hill and tuck it in. She is not opposed to the project but opposed to its location on the applicant's property.

Committee Discussion:

The committee recognized that ten letters were submitted from community members that requested that either the location of the container be considered for a different location or that the project is not approved.

Application Review – Committee Reviewed the applicant's request and identified that request was not up to the design standards of specifically item D (Siding materials and pattern of application) the committee did not feel that the container was "appropriate

for the area and relate harmoniously to the existing buildings in the vicinity.” In addition, a cargo container’s roof materials do not meet the criteria for item G (Roof materials) from the checklist.

Mettauer – questioned impact of county General Plan vs. Design Review Criteria.

Motion: Deny SUAREZ application for a cargo container at 172 Mountain View in Swall Meadows (APN 064-160-002-000).
(Miledi, 2nd Rosen)

Ayes – 5 (Adriani, Kelty, Miledi, Rosen, Weiland) Nays – 0, Abstain – Mettauier
Motion Carries

6. Workshops 4:01 pm
None

7. Committee Administration 4:02 pm

- A. Calloway – there is an upcoming permit request for upper Swall, anticipates meeting in April to review.
- B. Committee Members should complete annual Form 700 – due by April 1, 2025.
- C. Update on Design Review application update – Weiland will distribute to Egorov and she will send to the committee members to review. Will add to future agenda.

8. Future Agenda Items:
APN Indexing with County Clerk Recorder – the county does not record non CCR’s on the title. Remove from future agenda items.

9. Meeting Administration:
- A. Keep in mind that committee members are also members of the community, and we should keep comments in mind during our discussions.
 - B. We need to practice active zoom etiquette, especially when there are members of the community on line and when the secretary is offsite.

10. Next meeting: April 24, 2025 3:00 pm

11. Adjourn 4:21 pm

**Mono County
Community Development Department**

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Planning Division

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**WHEELER CREST DESIGN REVIEW DISTRICT
PROJECT INFORMATION SHEET**

APPLICANT _____

ASSESSOR PARCEL # _____

PROJECT DESCRIPTION (e.g., single-family residence, garage, etc.) _____

BUILDING DESIGN

NOTE: Please provide all required information as accurately and completely as possible to avoid potential delays in processing. The required information should be shown on the building plans and plot plan. Place a check in the appropriate place on this form to indicate that the information has been provided; if certain information does not apply to your project, please place "NA" in the appropriate place on this form. INCOMPLETE INFORMATION MAY REQUIRE PLANS TO BE RESUBMITTED, POSSIBLY ADDING 30 TO 60 DAYS DELAY.

EXAMPLE

A. ☐ Location of all utility boxes, transformers, propane tanks and metering devices.

Please explain how your project complies with the following design criteria: The propane tank is located in the rear of the yard (see site map). Native five-gallon conifers will be planted on the north and south side of the tanks to shield from view. A wood natural fence, cedar, stained dark brown, four feet high will used on the other two sides. The transformer in the front corner of the yard will be shielded by rocks on site with juniper bushes on the street side. Irrigation system will be installed.

A. ☐ Location of all utility boxes, transformers, propane tanks and metering devices.

Please explain how your project complies with the following design criteria:

Design Criteria: All utility boxes, transformers, propane tanks and metering devices shall be shielded from public view, where reasonably possible, in accordance with the rules and regulations of the controlling public utility company.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies

☐ Does Not Comply

☐ Not Applicable

Design Review Committee Notes:

B. ☐ Paint color for any portions of construction grade foundation work that extend above the finished grade.

Please explain how your project complies with the following design criteria *(lines on next page)*:

Design Criteria: Extensive use of concrete or concrete block should be avoided, except as a backing material for veneer work or when used as an integral part of the overall design concept. Construction grade foundation work shall be coated or painted with flat masonry paint on the portions extending above the finished grade; said portions should be minimized. The color shall be harmonious with the overall color scheme of the structure. Inappropriate materials not allowed are as follows: asphalt siding, raw or unpainted metal, standard concrete block as a total façade.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies ☐ Does Not Comply ☐ Not Applicable

Design Review Committee Notes:

C. ☐ Paint or stain color for exposed under portions of elevated decks and porches.

Please explain how your project complies with the following design criteria:

Design Criteria: Decks shall be designed to be compatible with the design of the main structure. The under portion of elevated decks and porches shall be painted or stained to blend with the main structure or under portions shall be concealed from view.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies ☐ Does Not Comply ☐ Not Applicable

Design Review Committee Notes:

D. ☐ Siding materials and pattern of application.

Please explain how your project complies with the following design criteria:

Design Criteria: Exterior Walls: Generally, only one kind of siding should be used per structure, and it should be applied in a uniform pattern or manner. Exterior siding materials shall be appropriate for the area and relate harmoniously to existing buildings in the vicinity. The use of natural stone or wood is encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies ☐ Does Not Comply ☐ Not Applicable

Design Review Committee Notes:

E. ☐ Color for any aluminum sash.

Please explain how your project complies with the following design criteria:

Design Criteria: Aluminum sash shall be color-anodized to avoid light reflection and coordinate with the color theme of the project.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies

☐ Does Not Comply

☐ Not Applicable

Design Review Committee Notes:

F. ☐ Paint colors for all exposed metal.

Please explain how your project complies with the following design criteria:

Design Criteria: All exposed metals, flashing, roofjacks, crickets, etc. are to be painted flat to blend with the structure. Muted, nonreflective colors are encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies

☐ Does Not Comply

☐ Not Applicable

Design Review Committee Notes:

G. ☐ Roof materials

Please explain how your project complies with the following design criteria:

Design Criteria: Roofs: Tar and gravel roof surfacings will be permitted only on areas that are not exposed to view. All types of metal, composition and tar-and-gravel roofing will be reviewed on an individual basis.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies

☐ Does Not Comply

☐ Not Applicable

Design Review Committee Notes:

H. ☐ Color and type of exterior stains and finishes.

Please explain how your project complies with the following design criteria:

Design Criteria: Exterior Colors and Finishes: Because of extreme weather conditions, exterior stains and finishes giving a natural weathering appearance are encouraged over paints. Stains tend to weather better and are easier to maintain. The use of color shall generally be restricted to dark or neutral colors found in the immediate surroundings.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies

☐ Does Not Comply

☐ Not Applicable

Design Review Committee Notes:

I. ☐ Location of any exterior lighting.

Please explain how your project complies with the following design criteria:

Design Criteria: Exterior lighting should be minimized, and indirect lighting should be encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies

☐ Does Not Comply

☐ Not Applicable

Design Review Committee Notes:

SITE DEVELOPMENT

J. ☐ Site map and building elevations from all directions showing property lines, setbacks before and after cut-fill-lines/grade, landscaping, and architectural theme.

Please explain how your project complies with the following design criteria:

Design Criteria: The project shall be designed to be attractive from all viewing directions. The layout architecture and landscaping should be developed to work in harmony with the architectural theme throughout the project.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies

☐ Does Not Comply

☐ Not Applicable

Design Review Committee Notes:

K. ☐ Contour lines and any required cut and fill (show original and proposed cut and fill lines from all elevations).

Please explain how your project complies with the following design criteria:

Design Criteria: Grading: All reasonable attempts shall be made to minimize grading for the building, garage and driveways. Foundations shall be designed to create the least disturbance possible. Natural, unmodified areas should be maximized, while coverage is minimized for effective erosion control. To the greatest extent possible, the natural contours outside the footprint of the buildings should be retained. In areas of unstable or boggy soils, post or pile foundations may be appropriate.

Natural or existing topographic features and patterns contributing to the beauty and utility of a site ought to be preserved.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies

☐ Does Not Comply

☐ Not Applicable

Design Review Committee Notes:

L. ☐ Location and types of devices to control runoff from impervious surfaces (e.g., drip trenches, French drains, etc.).

Please explain how your project complies with the following design criteria:

Design Criteria: Special attention should be given to proper site surface drainage so that surface waters will not adversely affect neighboring properties or interfere with natural drainage flow.

Pollution of streams by runoff and siltation shall be avoided. Erosion control shall be provided. Runoff from impervious surfaces (roofs, driveways) should be accomplished by such devices as drip trenches, French drains and drain channels

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies

☐ Does Not Comply

☐ Not Applicable

Design Review Committee Notes:

M. ☐ Fencing location, design and materials.

Please explain how your project complies with the following design criteria:

Design Criteria: Fencing: No fence or wall higher than 6 feet tall shall be erected. Fences of simple appearance and construction are the most desirable. Designs that call

attention to the fence by creating a visual intrusion to the landscape are to be avoided. Property line fences or walls are not generally required or desirable.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

☐ Complies

☐ Does Not Comply

☐ Not Applicable

Design Review Committee Notes:

N. ☐ Landscaping plan showing existing trees and shrubs to be retained, proposed landscaping or revegetation (location and type of plant material), and location of proposed irrigation system (if necessary).

Please explain how your project complies with the following design criteria:

Design Criteria: Landscaping: The basic objective of landscaping or revegetation is to enhance the new structures and improvements, to strengthen vistas, and to screen visually objectionable elements such as utility areas and trash containers. The removal of trees and large boulders should be kept to a minimum. Ground areas disturbed by grading shall be replanted at the earliest seasonal opportunity to provide for erosion control. Trees and shrubs that are to be retained on the site shall be protected during construction by temporary fencing or barricades so that they are not crushed or damaged by earth-moving equipment or the stockpiling of materials, etc. Use of native ground cover that requires less water to maintain is recommended.

Insofar as possible, trenching or paving shall be located in such a way that no tree roots will be damaged. In situations where this requirement cannot be adhered to, the builder shall exercise great care to minimize damage to roots.

Native vegetation (trees) in the Wheeler Crest area has evolved in a wet-dry cycle, and establishing irrigation for landscaping beneath these trees is harmful. If the soil is irrigated year round, an ideal environment for root rot results, thus creating stress on remaining trees, entitling bark beetles to invade and kill the trees. Irrigation systems should be installed well outside the drip line of any retained trees if their survival is desired.

An adequate irrigation system to maintain planted areas shall be provided, as necessary.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

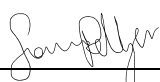
☐ Complies

☐ Does Not Comply

☐ Not Applicable

Design Review Committee Notes:

O. ☐ The items checked above have been included with the building plans and plot plan for Plan Check # _____



Signature

Date

PROJECT REVIEW SHEET

(To be completed by Wheeler Crest Design Review Committee and Mono County staff)

APPLICANT _____

ASSESSOR PARCEL # _____

PROJECT DESCRIPTION _____

(e.g., single-family residence, garage, etc.)

WHEELER CREST DESIGN REVIEW COMMITTEE RECOMMENDATION:

Recommended for approval: ☐ without conditions ☐ with attached conditions

Chair, Wheeler Crest Design Review Committee

Date

The Wheeler Crest Design Review Committee recommends the following findings and conditions:

☐ Complies with guidelines

☐ Does not comply with guidelines (please summarize items inconsistent with guidelines)

Proposed conditions (please recommend conditions to address inconsistencies with guidelines)

COMMUNITY DEVELOPMENT DETERMINATION:

☐ Hold for further review/information (see attached letter for detail)

☐ Approved with no conditions

☐ Approved with the following conditions

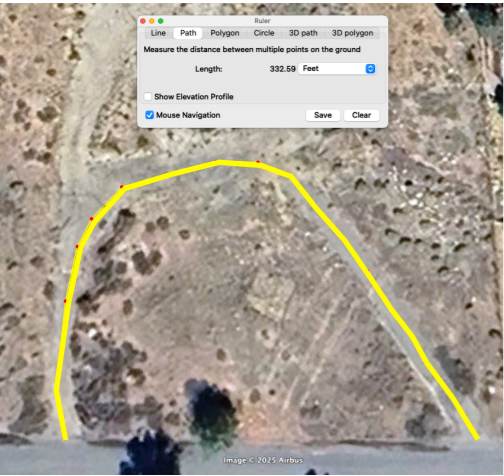
Community Development Department

Date

Sonia Peltzer
94 Mountain View Drive

APN 064 160 003 000

Driveway length 332 feet (yellow line)
Driveway width 14-15 feet



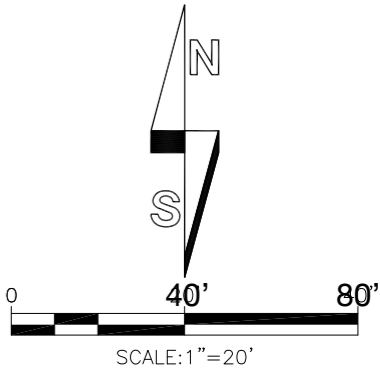
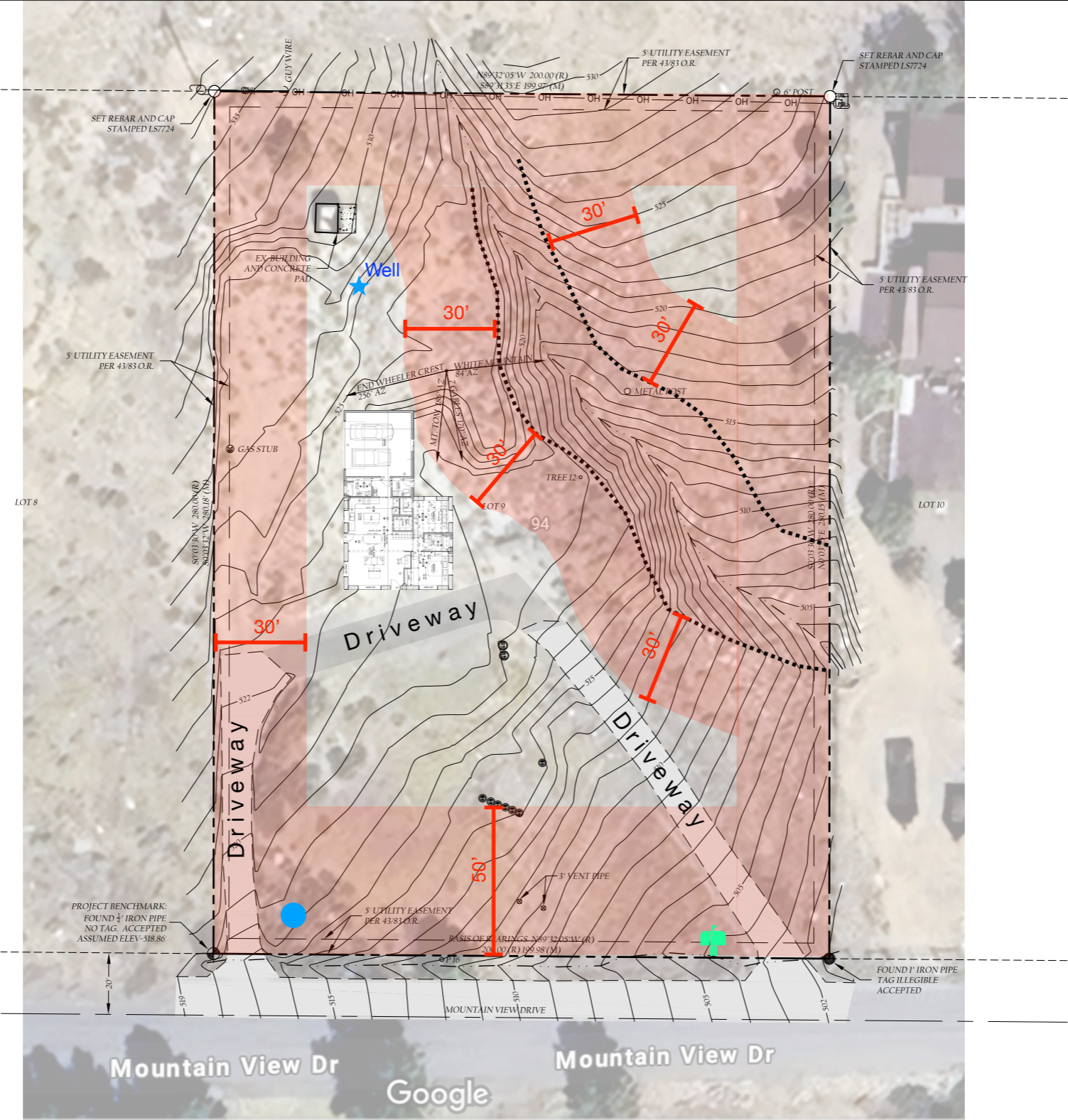
- Green address placard
- Proposed 2500 gal water tank
- Setbacks
- Top of stream banks

LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CENTERLINE
	CONTOUR (1' INTERVAL)
	FLOW LINE
	AC PAVEMENT AND EDGE OF PAVEMENT
	SEPTIC TANK LID
	UTILITY PEDESTAL
	IRRIGATION CONTROL VALVE
	TREE TYPE AND SIZE, P-PINE
	OVERHEAD UTILITY LINE
	UTILITY POLE

ABBREVIATIONS	
AC	ACRES
AC	ASPHALT CONCRETE
APPROX.	APPROXIMATE
AZ	AZIMUTH
CV	CONTROL VALVE
EX	EXISTING
IRR	IRRIGATION
OH	OVERHEAD
PED	PEDESTAL
SQ. FT.	SQUARE FEET
SS	SANITARY SEWER
UTIL	UTILITY

RECORD INFORMATION	
	FOUND IRON PIPE AS NOTED, ACCEPTED
(R)	RECORD INFORMATION PER MAP BOOK 2, PAGE 10.
(M)	MEASURED PER FIELD SURVEY

SITE INFORMATION
LOT 9, HILLTOP ESTATES ADDITION I
MB 2/10
36,024+ SQ. FT., 1.28+ AC.

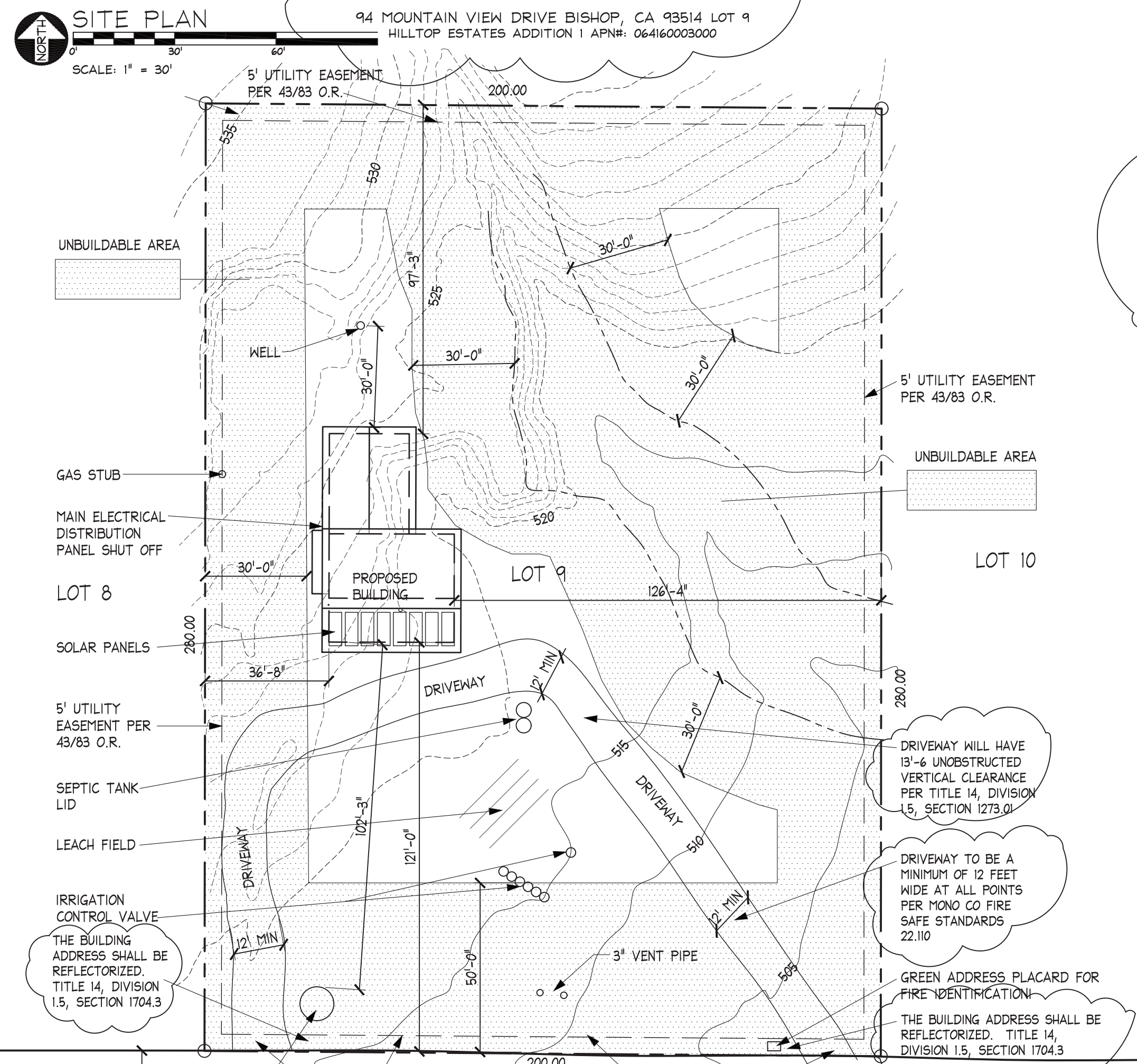


I HEREBY STATE THAT I AM A LICENSED LAND SURVEYOR OF THE STATE OF CALIFORNIA. THIS MAP REPRESENTS A SURVEY MADE BY ME OR UNDER MY SUPERVISION IN DECEMBER, 2016. THIS MAP DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

GUY BIEN L.S. 7724 LIC. EXP. 12/31/2017

THE PELTZER RESIDENCE

SITE PLAN 1" = 30'



TITLE 14 (NATURAL RESOURCES)
DIVISION 1.5 (DEPARTMENT OF FORESTRY AND FIRE PREVENTION)
CHAPTER 7 (FIRE PREVENTION)
ARTICLE 3: SIGNING AND BUILDING NUMBERING AS FOLLOWS:

- (A) ALL BUILDINGS SHALL HAVE A PERMANENTLY POSTED ADDRESS WHICH SHALL BE PLAINLY LEGIBLE AND VISIBLE FROM THE ROAD FRONTING THE PROPERTY.
(B) WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE ADDRESS IDENTIFICATION CANNOT BE VIEWED FROM THE PUBLIC WAY, AN UNOBSTRUCTED SIGN OR OTHER MEANS SHALL BE USED SO THAT THE ADDRESS IS VISIBLE FROM THE PUBLIC WAY.
(C) ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS.
(D) WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN OR POST.
(E) WHERE A ROAD PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OR INDUSTRIAL BUSINESS, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE, OR OTHERWISE POSTED TO PROVIDE FOR UNOBSTRUCTED VISIBILITY FROM THAT INTERSECTION.
(F) IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER.

BUILDING DATA

RESIDENTIAL - R-3
SINGLE FAMILY DWELLING
TYPE 3 CONSTRUCTION
SINGLE STORY WITH NON-HABITABLE STORAGE LOFT

AREA:

FLOOR AREA	
FIRST FLOOR	1349 SQ. FT.
LOFT	342 SQ. FT.
PATIO COVER	67 SQ. FT.
DECK	75 SQ. FT.
2 CAR GARAGE	535 SQ. FT.

HEAT SOURCE: HEAT PUMP

INSULATION:

ROOF	R49
WALLS	R28 @ STRAW BALE MIN R21 @ WOOD FRAMED WALLS
FOUNDATION	R15

ROOF DEAD	25 P.S.F.
ROOF LIVE	77 P.S.F.
WALL STRAW BALE DEAD	54 P.S.F.
FROST DEPTH	18"
SEISMIC CATEGORY	D1
CLIMATE ZONE	16
WIND LOAD	96 MPH EXP. C

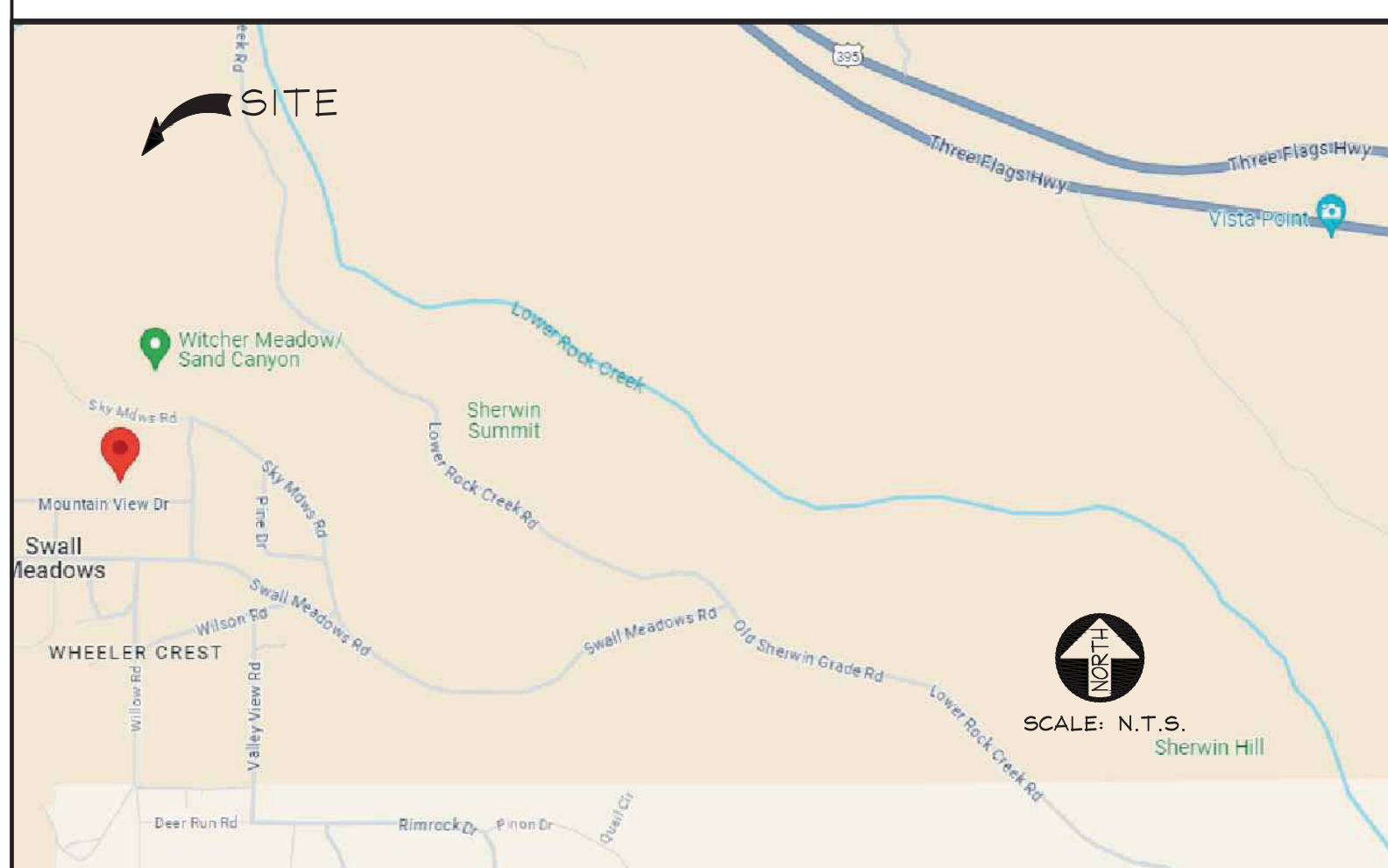
ASSUMED ALLOWABLE SOIL
BEARING = 1500 P.S.F.

STRUCTURES SHALL HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED PER NFPA 13-D STANDARDS AND FIRE PROTECTION DISTRICT STANDARDS. FIRE SPRINKLER PLANS SHALL BE SUBMITTED AND APPROVED BY THE FIRE PROTECTION DISTRICT PRIOR TO FRAMING INSPECTION

2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE

2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA BUILDING ENERGY EFFICIENCY
STANDARDS
2022 CBC CHAPTER 7A

VICINITY MAP



SYMBOL LEGEND

BUILDING SECTION FLAG	SECTION NUMBER
EXTERIOR ELEVATION FLAG	ELEVATION NUMBER
DETAIL FLAG	DETAIL NUMBER
DATUM: VERTICAL ELEVATION	
WINDOW CALL OUT FLAG	
DOOR CALL OUT FLAG	
NOTE CALL OUT FLAG	
WALL TYPE FLAG	

WILDLIFE-URBAN INTERFACE

THE WILDLAND URBAN INTERFACE PROVISIONS OF THE 2022 CBC CHAPTER 7A APPLY TO THIS PROJECT.

- A. CBC Chapter 7A apply to this project. NEW BUILDINGS LOCATED IN ANY FIRE HAZARD-SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE FIRE AREA DESIGNATED BY THE ENFORCING AGENCY SHALL COMPLY WITH PROVISIONS OF CHAPTER R337 AND SHALL BE IGNITION RESISTANT MATERIAL, NONCOMBUSTIBLE MATERIAL, FIRE-RETARDANT-TREATED WOOD, FIRE-RETARDANT-TREATED WOOD SHINGLES AND SHAKES CONFORMING TO SECTION R337.4, R337.1.3 & R337.4.3.
- B. MATERIAL AND MATERIAL ASSEMBLIES TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R337.3 SHALL BE ACCEPTED FOR USE WHEN THE RESULTS AND CONDITIONS OF THOSE TESTS ARE MET. PRODUCT EVALUATION TESTING OF MATERIAL AND MATERIAL ASSEMBLIES SHALL BE APPROVED OR LISTED BY THE STATE FIRE MARSHAL OR IDENTIFIED IN A CURRENT REPORT ISSUED BY AN APPROVED AGENCY. R337.3.2
- C. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTERS SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH CORROSION-RESISTANT, NONCOMBUSTIBLE METAL WIRE MESH WHERE THE OPENINGS ARE A MIN. OF 1/16" AND SHALL NOT EXCEED 1/8"; EXCEPT VENTS LOCATED UNDER THE ROOF COVERING, ALONG THE RIDGE OF ROOFS, WITH THE EXPOSED SURFACE OF THE VENT COVERED BY NONCOMBUSTIBLE WIRE MESH, MAY BE OF COMBUSTIBLE MATERIALS. R337.6.2
- D. VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES AND CORNICES. EXCEPT WHEN THE VENTS PROVIDED ARE APPROVED BY THE JURISDICTION TO RESIST THE INTRUSION OF FLAMES AND BURNING EMBERS OR THE ATTIC SPACE BEING VENTILATED IS PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM OR THE EXTERIOR WALL COVERING AND EXPOSED UNDERSIDE OF THE EAVE AREA IS OF NONCOMBUSTIBLE MATERIAL OR IGNITION-RESISTANT MATERIALS AND THE VENT IS LOCATED MORE THAN 12 ABOVE THE GROUND OR WALKING SURFACE. CRC 337.6.3
- E. EXTERIOR WINDOWS, SKYLIGHTS AND GLAZED DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE RATING OF 20 MINUTES. CRC R337.8.2.1 F. EXTERIOR DOORS SHALL BE SOLID CORE WITH STILES AND RAILS NOT LESS THAN 1 3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4 INCH OR SHALL HAVE A FIRE RATING OF 20 MINUTES. CRC R337.8.3

LIST OF DRAWINGS

- G-1.1 SITE PLAN, TITLE, DRAWING
INDEX, & ABBREVIATIONS
G-1.2 CAL FIRE SITE PLAN & GUIDELINES
G-1.3 TITLE 24 REPORT
G-1.4 CAL GREEN BUILDING STANDARDS
A-1.1 FIRST FLOOR PLAN
A-1.2 STORAGE LOFT PLAN
A-1.3 ROOF PLAN
A-2.1 EXTERIOR ELEVATIONS
A-2.2 EXTERIOR ELEVATIONS
A-3.1 BUILDING SECTIONS
A-4.1 INTERIOR ELEVATIONS
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Lucille L. Hunter, P.E.
Digitally signed by Lucille L. Hunter, P.E.
Date: 2025.06.19 15:19:19 -06'00'

ABBREVIATIONS

AB	ANCHOR BOLT	HDR	HEADER
AC	AIR CONDITIONING	HORIZ	HORIZONTAL
A/C	ASPHALTIC CONCRETE	INSUL	INSULATION
ARCH	ARCHITECTURAL	INT	INTERIOR
BLK'G	BLOCKING	MAX	MAXIMUM
CHU	CONC. MASONRY UNIT	MC	MEDICINE CABINET
CONC	CONCRETE	MFR	MANUFACTURER
CONT	CONTINUOUS	MIN	MINIMUM
DBL	DOUBLE	NTS	NOT TO SCALE
DET	DETAIL	OC	ON CENTER
DF	DOUGLAS FIR	PLYWD	PLYWOOD
DS	DOWNSPOUT	RO	ROUGH OPENING
EA.	EACH	R	RADIUS
EQUIP	EQUIPMENT	REINF	REINFORCED (ING)
(E)	EXISTING	SC	SOLID CORE
FF	FINISH FLOOR	SQ FT	SQUARE FOOT
FTG	FOOTING	SHT'G	SHEATHING
GA.	GAUGE	SIM	SIMILAR
GALV	GALVANIZED	SS	STAINLESS STEEL
GLB	GLUE LAMINATED BEAM	TBD	TO BE DETERMINED
GYP	GYPSONIUM	TO	TOP OF
HVAC	HEATING & COOLING EQUIP.	TYP	TYPICAL
HRV	HEAT RECOVERY VENTILATION	U.N.O.	UNLESS NOTED OTHERWISE
HB	HOSE BIBB	VERT	VERTICAL
HC	HOLLOW CORE	W/	WITH
		W/O	WITHOUT

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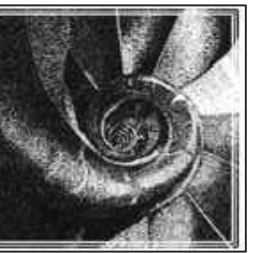
GENERAL
CONTRACTOR:

REVISIONS

DATE	DESCRIPTION
4/7/25	COUNTY RED LINES

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STRUCTURAL ONLY

A New Strawbale Home

SONIA PELTZER

94 MOUNTAIN VIEW DRIVE
BISHOP, CA 93514

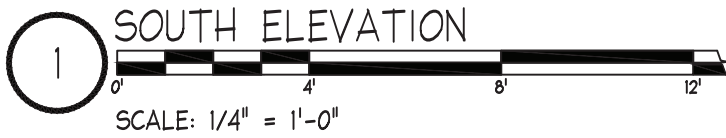
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A New Strawberry Home
SONIA PELTZER
94 MOUNTAIN VIEW DRIVE
BISHOP, CA 93514
LOT 9, HILLTOP ESTATES ADDITION
APN#: 064160003000

EXTERIOR
ELEVATIONS

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B25-049 Project Materials

Corrugated sheet metal siding – Corten AZP Raw 7/8" corrugated metal A606-4 Steel from Western States Metal Roofing



Standing Seam Metal Roofing - Corten A606-4 Steel AZP raw from Western States Metal Roofing



Black locust wood decking



Natural Hydraulic Lime Plaster – KEIM NHL-KP 0.6 is a ready-mixed dry mortar according to DIN EN 998-1 based on sand, lime (highly hydraulic lime) and hydraulic additives, as well as additives for better processing and bonding. The strength complies with mortar category CS II or PII in accordance with DIN V 18550.

